

Orthopaedic Hospital Railings

Condition Report

Date: 20.03.2026

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CRUCIFORM ARCHITECTURE HERITAGE PLANNING

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1 - EXECUTIVE SUMMARY

The memorial is in reasonable condition.

In the immediate term, panels should be cleaned down, metalwork descaled and rust treated followed by a full redecoration.

In the medium term, moss should be removed from brick faces and coping tops, copings need some stone repair and pinning.

In the long term, vegetation behind some panels should be cut back and panels should be regularly washed down to prevent algae build up.

A list of recommended repairs is presented at the back of this document.

2 - INTRODUCTION

2.1 Site information

Address: Hartshill Rd/Rosemary Ednam Close, Hartshill, ST4 7NG

Listed / Scheduled
Monument Status: Grade II Listed

Date of Construction: 1931

Inspection Information:

Inspection Date: 20th March 2026

Surveyor: Mr. S. Smith RIBA AABC

Cruciform Ltd.
Enterprise House
Moorland Road
Stoke-on-Trent
ST6 1JQ

01782 777000

Weather: Dry, Sunny

2.2 Description

The railings of the former Orthopaedic Hospital were constructed to memorialise Lady Rosemary, Viscountess Ednam, president of the orthopaedic hospital who was killed in an air crash.

The hospital site was bounded by the metal railings, originally painted green. The eleven bays of railings are set between brick piers with fluted stone caps and stand on a brick dwarf wall with stone coping. The railings are designed in a fretwork pattern and at the centre of each bay there is a bronze or alloy relief panel modelled by William Ruscoe depicting girls skipping, playing with hoops and swimming with dolphins, a panel with youths running and another heraldic panel with a monogram. The railings are surmounted by various stylised animals.

The railings, situated in front of the former orthopaedic hospital (now demolished), are of considerable artistic merit and an unusual memorial.

2.4 Methodology

This report provides an overview on the condition of the Site. Where observations may contain a recommendation for action (generally a repair or further investigation) and if so these will be accompanied with a priority rating. The ratings indicate the following levels of priority:

1 – Urgent work, requiring immediate attention. Issue severity could lead closure of parts of premises / immediate risk to health and safety / serious breach of legislation. e.g. dangerously unstable masonry or finishes likely to cause injury or structural damage.

2 – Essential work that will prevent serious deterioration of fabric / address medium risk to health and safety / minor breach of legislation (generally required within 12 months) e.g. drainage blockages, missing roof tiles, rotten timberwork, monitoring of possible ongoing structural movement, failed flashings

3 – Necessary work that will prevent deterioration of fabric / address minor risk to health and safety (generally required within 12 – 24 months). e.g. high priority repointing, high priority timber redecoration, gutter leaks and adjustments

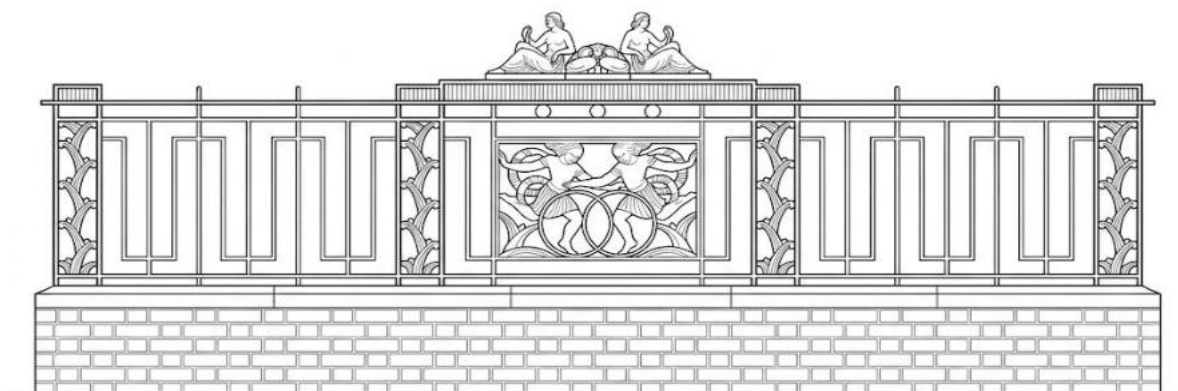
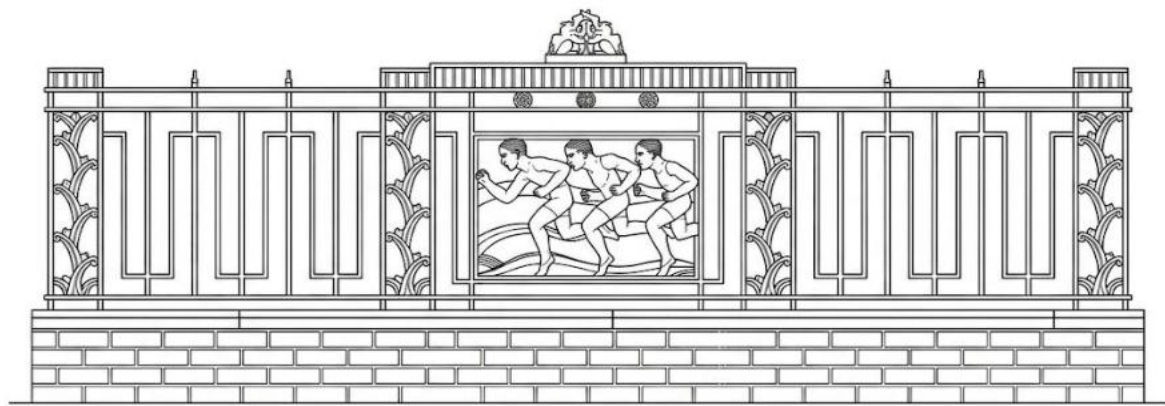
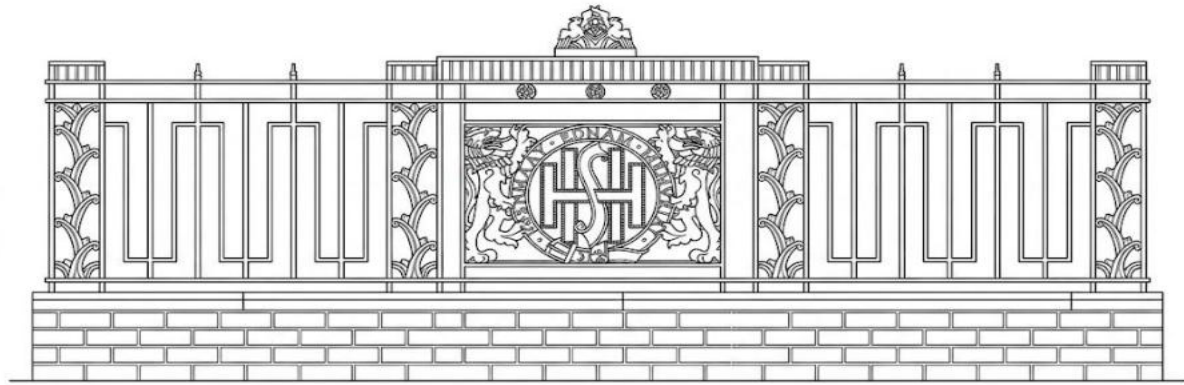
4 – Desirable remedial work that will prevent deterioration over the long term (generally required within 5 years) e.g. lower priority repointing, lower priority redecoration,

5 - Desirable Improvement with no timescale e.g. functional improvements, monitoring of historic structural movement and other issues that are unlikely to cause consequential damage at this time.

The recommendations made in the report are based upon a conservation minded approach that is considered appropriate to its status. The recommendations herein also rely upon constructional methods of repair, using materials compatible and consistent with the historic fabric, and, wherever possible, repair techniques that are reversible and that maximise the retention of the surviving historic fabric.

Recommendations are not intended to be used as repair specifications.

3 – GENERAL ARRANGEMENT



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4 - CONDITION: OBSERVATIONS & RECOMMENDATIONS

	Base	
4.1	The wall base to all panels is of brick with a mix of stone and concrete cappings. Mortar joints are generally filled. All brick facings have moss covering at low level. Concrete cappings have a moss covering that would be beneficial to remove and concrete repaired where necessary. REMOVE MOSS COVERING 	4
4.2	Some stone cappings have holes drilled that need filling flush with the surface with a stone mortar repair, cracked stone should be pinned. STONE REPAIR 	4

	Metal Panels	
4.3	Panels are numbered 1-11 starting at the east and working westwards. Panels 1-6 are east of Rosemary Ednam Close, while panels 7-11 are to the west.	
4.4	Panel 1 is a heraldic panel with the monogram 'HSH'. The panel is surmounted by a pair of doves.	
4.5	Where paint has peeled at joints, metal has corroded and needs descaling, an application of rust inhibitor and redecoration. REDECORATION	3
		
4.6	Paint is peeling generally and there is a covering of green algae on the surface. Flaking paint should be removed and the whole washed down before repainting. REDECORATION	3
		

4.7	Panel 2 features a winged lion and is surmounted by a pair of dolphins.	
4.8	Paint is peeling generally and there is a covering of green algae on the surface. Flaking paint should be removed and the whole washed down before repainting. REDECORATION 	3
4.9	Corroded metal needs descaling, an application of rust inhibitor and redecoration. REDECORATION 	3

4.10	Panel 3 is the same heraldic panel as panel 1 but surmounted with a pair of dolphins.	
4.11	Paint is peeling generally and there is a covering of green algae on the surface. Flaking paint should be removed and the whole washed down before repainting. REDECORATION 	3
4.12	The top rail is deformed and should be gently re-aligned. METAL REPAIR 	4

4.13	Panel 4 is a further heraldic panel surmounted with a pair of bears.	
4.14	Paint is peeling generally and there is a covering of green algae on the surface. Flaking paint should be removed and the whole washed down before repainting. REDECORATION 	3
4.15	Where paint has peeled at joints, metal has corroded and needs descaling, an application of rust inhibitor and redecoration. REDECORATION 	3

4.16	Panel 5 is a stylised depiction of three boys running, surmounted with a pair of bears.	
4.17	Paint is peeling generally and there is a covering of green algae on the surface. Flaking paint should be removed and the whole washed down before repainting. REDECORATION 	3
4.18	There are several areas where paint has peeled at joints, metal has corroded and needs descaling, an application of rust inhibitor and redecoration. REDECORATION 	3

4.19	Panel 6 is a further heraldic panel surmounted with a pair of doves.	
4.20	Condition of this panel is better and needs a general wash down and redecoration. REDECORATION 	3
4.21	There are some minor areas where metal has corroded and needs descaling, an application of rust inhibitor and redecoration. REDECORATION 	3

4.22	Panel 7 is a stylized depiction of two girls playing with hoops and is surmounted by a pair of ducks.	
4.23	Condition of this panel is better and needs a general wash down and redecoration. REDECORATION 	3
4.24	There is some paint peel that needs descaling and redecoration. REDECORATION 	3

4.25	Panel 8 is a further heraldic panel surmounted with a pair of ducks.	
4.26	Paint is peeling generally and there is a covering of green algae on the surface. Flaking paint should be removed and the whole washed down before repainting. REDECORATION 	3
4.27	There are several areas where paint has peeled at joints, metal has corroded and needs descaling, an application of rust inhibitor and redecoration. REDECORATION 	3

4.28	Panel 9 is a stylized depiction of two girls skipping and is surmounted by a pair of doves.	
4.29	Paint is peeling generally and there is a covering of green algae on the surface. Flaking paint should be removed and the whole washed down before repainting. REDECORATION 	3
4.30	There are several areas where paint has peeled at joints, metal has corroded and needs descaling, an application of rust inhibitor and redecoration. REDECORATION 	3

4.31	Panel 10 is a further heraldic panel surmounted by a pair of bears. The front of the panel is obscured by the adjacent bus shelter.	
4.32	Paint has peeled back to bare metal in some areas and flaking paint should be removed and the whole washed down before repainting. REDECORATION 	3
4.33	There are several areas where paint has peeled at joints, metal has corroded and needs descaling, an application of rust inhibitor and redecoration. REDECORATION 	3

4.34	Panel 11 is a stylized depiction of boys swimming and is surmounted with a pair of ducks.	
4.35	Paint is peeling generally and there is a covering of green algae on the surface. Flaking paint should be removed and the whole washed down before repainting. REDECORATION 	3
4.36	There are some areas where paint has peeled and metal has corroded and needs descaling, an application of rust inhibitor and redecoration. REDECORATION 	3

5 - SCOPE OF THE REPORT

This report is based on the findings of an inspection made from the ground and from other readily accessible parts.

It is emphasised that the inspection has been purely visual and that no enclosed spaces or inaccessible parts such as boarded floors, roof spaces or hidden timbers at the wall heads have been opened up for inspection. Any part which may require further investigation is referred to in the appropriate section of this report.

We have not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are, therefore, unable to report that any such part of the property is free from defect.

We can make no comment on the substrata and cannot confirm that the property is unaffected by coal seams, underground workings or general subsidence.

Unless stated to the contrary a physical penetrative examination has not been undertaken as part of this report. A full structural survey has not been carried out.

No tests have been carried out to determine whether red ash or clinker has been used as filling below ground slabs or the like. No investigation has been carried out in respect of pollution or contamination of ground on which the property is built. We are not aware of mining operations or adverse soil conditions. Should investigative work be required, this will be subject to an additional instruction fee to the appropriate specialist.

Where properties are occupied, the inspection of floors and certain areas will be limited. Such areas as can be exposed and inspected will be commented upon; where carpet cannot be lifted, we will be unable to comment on, and as such we cannot say the floors under are free from defect.

We have not tested hollow walls to determine the condition of wall ties; should investigative work be required, this will be subject to an additional instruction/fee.

In normal circumstances it is not possible to comment in detail on the condition of ceiling and wall plaster where it is covered by ceiling and wallpaper. It must be borne in mind that the condition of ceiling and wallpaper will cause wall plaster in particular to have become detached from the underlying structure.

We have not tested the various main services, specialist heating, electrical and mechanical service. Engineers should be commissioned to carry out such tests on additional instructions/fees.

Furthermore, we must stress that we have not carried out any investigation to determine whether High Alumina Cement was used during the construction of the building inspected and we are therefore unable to report that the building is free from risk in this respect. In view of the possible potential danger connected with High Alumina Cement, we strongly recommend that the appropriate investigations, inspections and tests be carried out immediately by a suitably qualified engineer. Roof voids will be entered only if there is adequate access, the cover of which is removable without significant damage being caused.

Drains and underground services have not been examined or tested; camera tests can be carried out at an additional fee.

We can make no comment on the location or type of asbestos which may be present in the building. A specialist contractor would need to be separately employed to test for the presence of asbestos.

Cruciform Ltd. accept no liability for losses directly or indirectly arising out of, or in any way involving the actual, potential, alleged or threatened formation, growth, presence, release or dispersal of any fungi, moulds, spores or mycotoxins of any kind.

We have not checked the site for Japanese Knotweed nor Giant Hogweed. These are notifiable weeds, and their presence can cause serious damage to buildings and sites. If Japanese Knotweed or Giant Hogweed are discovered, they should be disposed of in accordance with the Countryside Act.

Although best practice dictates that the buildings should be inspected every five years, it should be realised that serious troubles may develop in between these surveys if minor defects are left unattended.

6 – RECOMMENDED REPAIRS

1 – Urgent work, requiring immediate attention.

2 – Essential work (generally required within 12 months)

3 – Necessary work (generally required within 12 – 24 months)

4 – Desirable remedial work (generally required within 5 years)

5 - Desirable Improvement with no timescale

L = Listed Building Consent is likely required (*check with LPA)

C = Cyclical Maintenance task

V = Non-specialist task, suitable for volunteer (subject to risk assessment)

Priority 1 Repairs:			
Priority 2 Repairs:			
Priority 3 Repairs:			
1	REDECORATION	4.5, 4.6, 4.8, 4.9, 4.11, 4.14, 4.15, 4.17, 4.18, 4.20, 4.21, 4.23, 4.24, 4.26, 4.27, 4.29, 4.30, 4.32, 4.33, 4.35, 4.36,	L,C,V
Priority 4 Repairs:			
2	REMOVE MOSS COVERINGS	4.1	C, V
3	STONE REPAIRS	4.2	L, C
4	METAL REPAIR	4.12,	L, C
Priority 5 Repairs:			