

Shirley Drinking Fountain

Condition Report

Date: 13.04.2026

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CRUCIFORM ARCHITECTURE HERITAGE PLANNING

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1 - EXECUTIVE SUMMARY

The memorial is in very poor condition and suffers in an area of antisocial behaviour. Consideration should be given to reducing antisocial behaviour and greater protection of the asset.

In the immediate term, slabs forming the base should be re-laid and repointed, open joints in the base should be repointed, vegetation should be removed from around the base. Drainage from the bowl should be improved.

In the medium term, loose delaminated stone should be gently dressed off, stone repairs of columns and carved panels should be carried out.

In the long term, the stone could be cleaned to improve its appearance. Decorative panels could be reinstated if details of the originals are available. New plumbing for the fountain could be installed.

A list of recommended repairs is presented at the back of this document.

2 - INTRODUCTION

2.1 Site information

Address: Etruria Park, Etruria Rd ST1 4BL

Listed / Scheduled
Monument Status: Unlisted

Date of Construction: 1904

Inspection Information:

Inspection Date: 13th April 2026

Surveyor: Mr. S. Smith RIBA AABC

Cruciform Ltd.
Enterprise House
Moorland Road
Stoke-on-Trent
ST6 1JQ

01782 777000

Weather: Dry, Sunny

2.2 Description

The drinking fountain located in Etruria Park was donated by the Shirley Brothers of Etruria Bone & Flint mill.

The fountain is set on a square base of St Anne's marble with a white marble water basin. There are four white Sicilian marble pillars supporting a distinctive pagoda-like top. The fountain originally featured Wedgwood Jasper and black basalt panels, including representations of the seasons, classical motifs such as the Portland Vase, and portraits of Josiah Wedgwood and his business partner Thomas Bentley

The inscription on the fountain reads: "THIS FOUNTAIN WAS PRESENTED BY THE MAYOR OF HANLEY H.B. SHIRLEY ESQ. JP AND ALDERMAN JESSIE SHIRLEY JP SEPTEMBER 1904".

2.4 Methodology

This report provides an overview on the condition of the Site. Where observations may contain a recommendation for action (generally a repair or further investigation) and if so these will be accompanied with a priority rating. The ratings indicate the following levels of priority:

1 – Urgent work, requiring immediate attention. Issue severity could lead closure of parts of premises / immediate risk to health and safety / serious breach of legislation. e.g. dangerously unstable masonry or finishes likely to cause injury or structural damage.

2 – Essential work that will prevent serious deterioration of fabric / address medium risk to health and safety / minor breach of legislation (generally required within 12 months) e.g. drainage blockages, missing roof tiles, rotten timberwork, monitoring of possible ongoing structural movement, failed flashings

3 – Necessary work that will prevent deterioration of fabric / address minor risk to health and safety (generally required within 12 – 24 months). e.g. high priority repointing, high priority timber redecoration, gutter leaks and adjustments

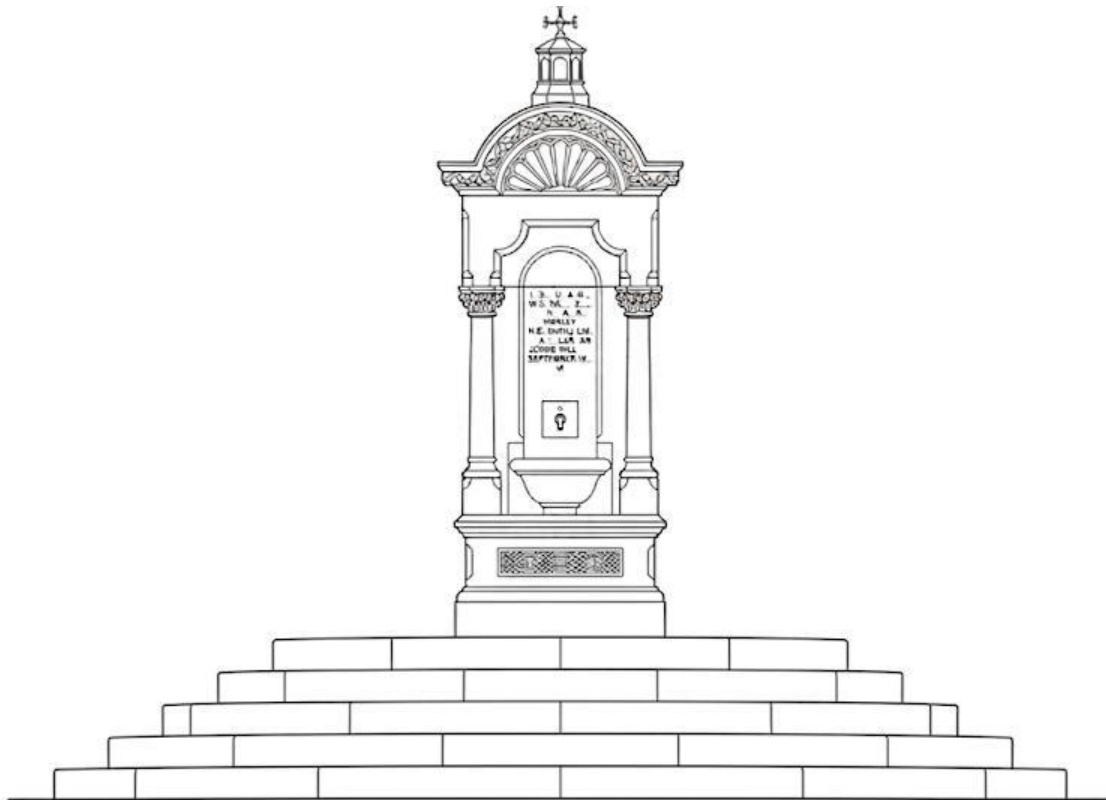
4 – Desirable remedial work that will prevent deterioration over the long term (generally required within 5 years) e.g. lower priority repointing, lower priority redecoration,

5 - Desirable Improvement with no timescale e.g. functional improvements, monitoring of historic structural movement and other issues that are unlikely to cause consequential damage at this time.

The recommendations made in the report are based upon a conservation minded approach that is considered appropriate to its status. The recommendations herein also rely upon constructional methods of repair, using materials compatible and consistent with the historic fabric, and, wherever possible, repair techniques that are reversible and that maximise the retention of the surviving historic fabric.

Recommendations are not intended to be used as repair specifications.

3 – GENERAL ARRANGEMENT



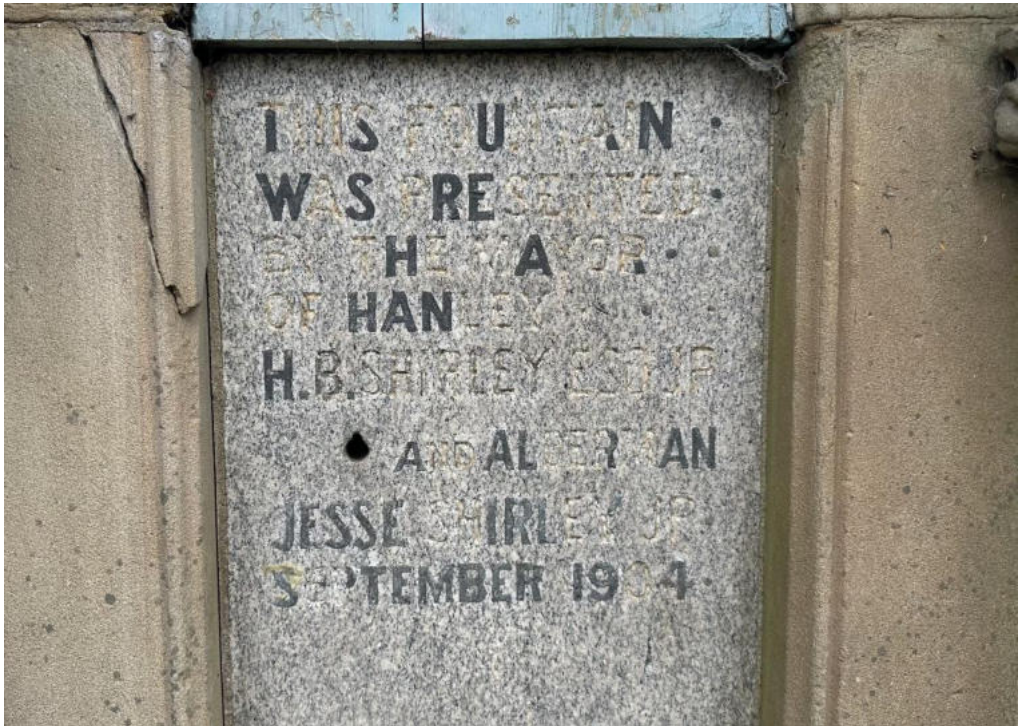
4 - CONDITION: OBSERVATIONS & RECOMMENDATIONS

	Base	
4.1	The base consists of circular sandstone steps laid in concentric circles.	
4.2	On the west side slabs are uneven and fall away from the memorial with the topography. A red granite slab laid into the top has a raised corner and causing a trip hazard. RE-BED STONE STEPS 	3
4.3	Joints are very large and infill cement has cracked open. Slabs should be re-laid level and joints repointed with lime mortar. REPOINTING 	3

4.4	All sides have a similar joint conditions. Slabs are blackened from atmospheric pollution and a covering of green algae that could be cleaned to improve appearance. Cleaning should be considered with an appropriate biocide. If results are not satisfactory a superheated steam system could be considered. No abrasive or high-pressure methods should be employed. STONE CLEANING 	4
4.5	There is plant growth between slabs on the north side that should be removed before it grows larger. The vegetation and moss should be cleared from the stone/tarmac junctions. REMOVE VEGETATION 	3

4.6	There is similar growth on the south side that should be removed. REMOVE VEGETATION 	3
	Fountain	
4.7	On the west face stone in the plinth is eroded and delaminated. Loose stone should be gently dressed back. DRESS OFF STONE 	3

4.8	The northwest column base has had a previous repair but with cement and this has eroded exposing some reinforcement. This should be removed and a stone repair carried out with basalt stone. STONE REPAIR 	3
4.9	The bowl is full of water and the outlet is blocked and a leaf guard installed. IMPROVE DRAINAGE 	3

4.10	The spout is missing and the supply pipe has been infilled with cement. If appropriate for the location a new faucet should be installed. NEW WATER OUTLET 	5
4.11	The inscription on the west panel has lost most of the inlay. The inscription could be repainted. REPAINT INSCRIPTION 	4

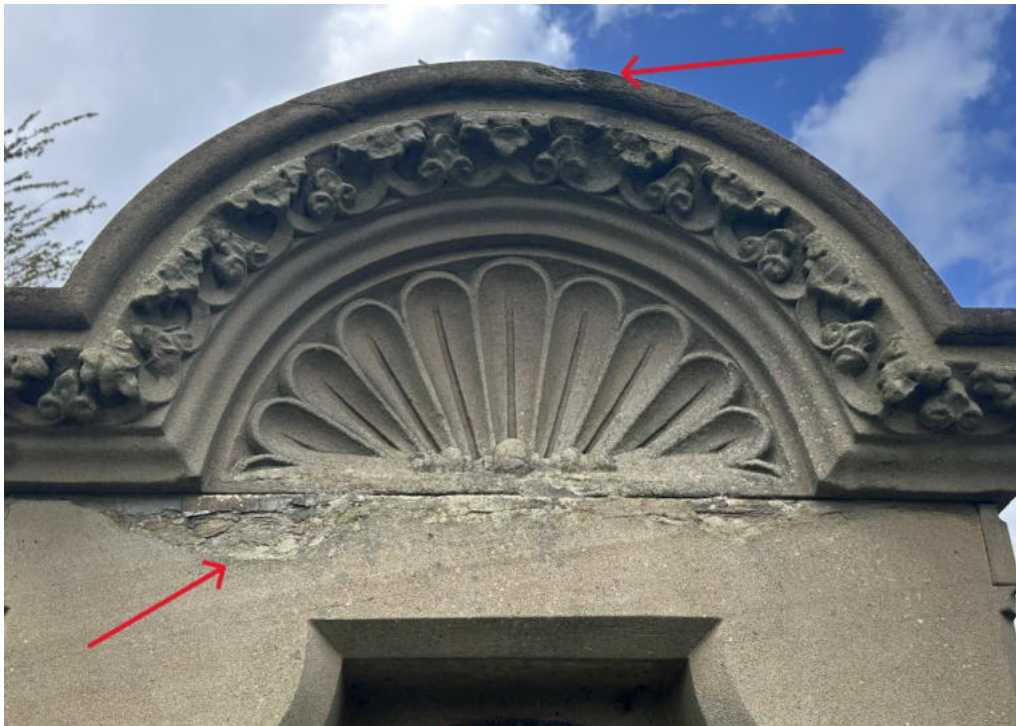
4.12	The stone of the northwest jamb is cracked and should be pinned back into place. STONE REPAIR 	3
4.13	Stone at the top of the columns has delaminated and loose stone needs gentle dressing off. DRESS OFF STONE 	3

4.14	The stone is cracked through the arch and continues through the stone above. There appears to be no movement but the stone could be stitched to prevent future movement. STONE REPAIR 	4
4.15	There is delamination of the stone at the base of the scalloped hood. Loose stone should be gently dressed back at least, but indented if funds allow. DRESS OFF STONE 	3

4.16	The base on the north side is very eroded and the stone face should be indented with new preferably indented to restore the vermiculated detail. STONE REPAIR	3
4.17	The base has open joints between stone that should be repointed. REPOINTING 	3
4.18	The recess originally had a Wedgwood Jasper panel insert that is now lost. If evidence of the original panel exists a replacement could be made and refitted. RESTORE JASPER PANEL 	5

4.19	Stone at the base of the jambs has delaminated and should be gently dressed off or better still, indent with new STONE REPAIR 	3
4.20	There have been previous repairs to the arch stone. Stone is delaminating and should be repaired with new indents. STONE REPAIR 	3

4.21	On the east side the carved detail on the base has delaminated and detached from the stone face leaving half missing. A new stone could be carved using details from the other side and indented in place. STONE REPAIR 	3
4.22	There is damage to the northeast column base that should be repaired with matching stone. STONE REPAIR 	3

	A Jasper panel remains on the east side. The panel is protected by acrylic in a steel frame but has suffered vandalism from burning. Acrylic could be replaced to improve appearance. REPLACE ACRYLIC 	5
4.23	The upper stone arch has had previous repairs. There is stone delamination below the scalloped decoration and over the hood that should be gently dressed off. DRESS OFF STONE 	3

4.24	The south side has open joints in the base that need repointing. REPOINTING 	3
4.25	The recess originally had a Wedgwood Jasper panel insert that is now lost. If evidence of the original panel exists a replacement could be made and refitted. RESTORE JASPER PANEL 	5

4.26	Stone at the base of the jambs has delaminated and should be gently dressed off. DRESS OFF STONE	3
4.27	There is some delamination of the stone to the tops of the columns that needs gently dressing off. DRESS OFF STONE 	3
4.28	There is stone missing from the southeast corner of the canopy that could have a stone indent. STONE REPAIR 	3

4.29	There is a wrought iron direction indicator fixed to stone at the top of the roof. Directions are not correct as the stone base is rotated and presumably loose. Stone should be refixed and directions corrected. RE-BED STONE 	1
4.30	Stone to the fountain as a whole should be cleaned. Cleaning should be considered with an appropriate biocide. If results are not satisfactory a superheated steam system could be considered. No abrasive or high-pressure methods should be employed. STONE CLEANING 	4

5 - SCOPE OF THE REPORT

This report is based on the findings of an inspection made from the ground and from other readily accessible parts.

It is emphasised that the inspection has been purely visual and that no enclosed spaces or inaccessible parts such as boarded floors, roof spaces or hidden timbers at the wall heads have been opened up for inspection. Any part which may require further investigation is referred to in the appropriate section of this report.

We have not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are, therefore, unable to report that any such part of the property is free from defect.

We can make no comment on the substrata and cannot confirm that the property is unaffected by coal seams, underground workings or general subsidence.

Unless stated to the contrary a physical penetrative examination has not been undertaken as part of this report. A full structural survey has not been carried out.

No tests have been carried out to determine whether red ash or clinker has been used as filling below ground slabs or the like. No investigation has been carried out in respect of pollution or contamination of ground on which the property is built. We are not aware of mining operations or adverse soil conditions. Should investigative work be required, this will be subject to an additional instruction fee to the appropriate specialist.

Where properties are occupied, the inspection of floors and certain areas will be limited. Such areas as can be exposed and inspected will be commented upon; where carpet cannot be lifted, we will be unable to comment on, and as such we cannot say the floors under are free from defect.

We have not tested hollow walls to determine the condition of wall ties; should investigative work be required, this will be subject to an additional instruction/fee.

In normal circumstances it is not possible to comment in detail on the condition of ceiling and wall plaster where it is covered by ceiling and wallpaper. It must be borne in mind that the condition of ceiling and wallpaper will cause wall plaster in particular to have become detached from the underlying structure.

We have not tested the various main services, specialist heating, electrical and mechanical service. Engineers should be commissioned to carry out such tests on additional instructions/fees.

Furthermore, we must stress that we have not carried out any investigation to determine whether High Alumina Cement was used during the construction of the building inspected and we are therefore unable to report that the building is free from risk in this respect. In view of the possible potential danger connected with High Alumina Cement, we strongly recommend that the appropriate investigations, inspections and tests be carried out immediately by a suitably qualified engineer. Roof voids will be entered only if there is adequate access, the cover of which is removable without significant damage being caused.

Drains and underground services have not been examined or tested; camera tests can be carried out at an additional fee.

We can make no comment on the location or type of asbestos which may be present in the building. A specialist contractor would need to be separately employed to test for the presence of asbestos.

Cruciform Ltd. accept no liability for losses directly or indirectly arising out of, or in any way involving the actual, potential, alleged or threatened formation, growth, presence, release or dispersal of any fungi, moulds, spores or mycotoxins of any kind.

We have not checked the site for Japanese Knotweed nor Giant Hogweed. These are notifiable weeds, and their presence can cause serious damage to buildings and sites. If Japanese Knotweed or Giant Hogweed are discovered, they should be disposed of in accordance with the Countryside Act.

Although best practice dictates that the buildings should be inspected every five years, it should be realised that serious troubles may develop in between these surveys if minor defects are left unattended.

6 – RECOMMENDED REPAIRS

1 – Urgent work, requiring immediate attention.

2 – Essential work (generally required within 12 months)

3 – Necessary work (generally required within 12 – 24 months)

4 – Desirable remedial work (generally required within 5 years)

5 – Desirable Improvement with no timescale

L = Listed Building Consent is likely required (*check with LPA)

C = Cyclical Maintenance task

V = Non-specialist task, suitable for volunteer (subject to risk assessment)

Priority 1 Repairs:			
1	CHECK LOOSE HIGH LEVEL STONE AND RE-FIX	4.29	
Priority 2 Repairs:			
Priority 3 Repairs:			
2	REPOINTING	4.3, 4.17, 4.24,	
3	REMOVE VEGETATION	4.5, 4.6,	C, V
4	STONE REPAIR	4.8, 4.12, 4.16, 4.20, 4.21, 4.22, 4.28	
5	IMPROVE DRAINAGE	4.9,	
6	RE-BED STONE	4.2, 4.29,	
7	DRESS OFF STONE	4.7, 4.13, 4.15, 4.18, 4.19, 4.23, 4.26, 4.27,	
Priority 4 Repairs:			
8	STONE CLEANING	4.4, 4.30,	C
9	REPAINT INSCRIPTION	4.11,	
10			
11			
12	STONE REPAIR (LOW PRIORITY)	4.14, 4.15, 4.19	
Priority 5 Repairs:			
13	NEW WATER TAP OUTLET	4.10,	
14	REFIT RECESSED PANELS	4.17, 4.25,	

15	REPLACE POLYCARBONATE PROTECTION	4.23,	
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